


	Planter	704.7 SQ FT
	New Concrete Driveway	138.0 SQ FT
	Transformer Pad	83.2 SQ FT
	Concrete Sidewalk	101.9 SQ FT
	Gas Meter	3.0 EA
	Common Yarrow	1169.2 SQ FT

PLANTING AREA CALC:
AREA "1": 57 s.f.
AREA "2": 295 s.f.
AREA "3": 31 s.f.
AREA "4": 181 s.f.
AREA "5": 120 s.f.
TOTAL: 684 s.f.

UNCOLORED CONC. AREA CALC:
AREA "I": 530 s.f.
AREA "II": 57 s.f.
TOTAL: 587 s.f.

PAVING AREA CALC:
AREA "A": 256 s.f.
AREA "B": 249 s.f.
AREA "C": 354 s.f.
TOTAL: 859 s.f.

REQUIRED UNCOLORED CONC.+PLANTER:
684+587+859=2,130 s.f./4=532.5 s.f.
587+859=1,446 s.f.> 532.5 s.f. OK

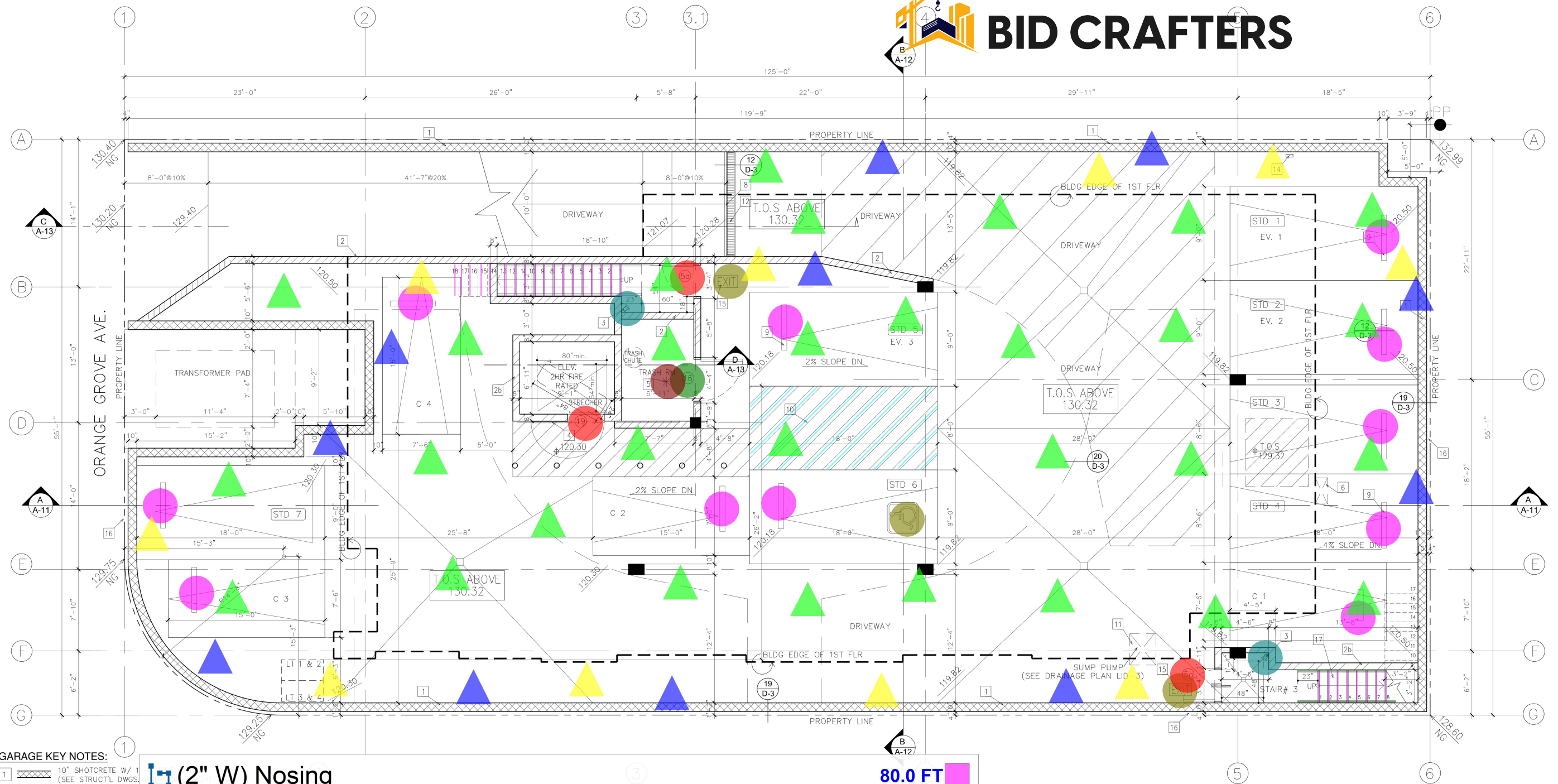
ITEM	DATE	REVISIONS
1	07/27/2007	BY: JACQUES MASHIHI
2	07/27/2007	BY: JACQUES MASHIHI
3	07/27/2007	BY: JACQUES MASHIHI
4	07/27/2007	BY: JACQUES MASHIHI
5	07/27/2007	BY: JACQUES MASHIHI
6	07/27/2007	BY: JACQUES MASHIHI
7	07/27/2007	BY: JACQUES MASHIHI
8	07/27/2007	BY: JACQUES MASHIHI
9	07/27/2007	BY: JACQUES MASHIHI
10	07/27/2007	BY: JACQUES MASHIHI

WEST PACIFICA DESIGN-CONSTR., INC.
JACQUES MASHIHI ARCHITECT A.I.A.
TEL: (310) 855-0823
FAX: (310) 855-0824
E-mail: jpm@wpdconstr.com

PROJECT: PROPOSED 4 STORY 14 UNIT OVER 1 LEVEL SUBTERRANEAN GARAGE
OWNER: DAVID NEMAN & RAMIN NEMAN
LOCATION: 1568 ORANGE GROVE AVE., LOS ANGELES, CA 90019

JOB# 2007
DESIGNED: JACQUES MASHIHI
SCALE: 1-14-22
SHT. A-1d

REGISTERED PROFESSIONAL ARCHITECT
STATE OF CALIFORNIA
NO. C-15922



GARAGE KEY NOTES:










- 1 10" SHOTCRETE W/ 1" (SEE STRUCT'L DWGS. FOR ADDITIONAL REQUIREMENTS & APPROVAL LETTERS)
- 2 8" CONC. BLOCK WALL
- 2a 13" CONC. DECK W/ 1" (SEE STRUCT'L DWGS. FOR ADDITIONAL REQUIREMENTS & APPROVAL LETTERS)
- 2b 8" CONC. BLOCK WALL
- 3 CLASS III STANDPIPE (COMBINED WITH FIRE HYDRANT)
- 4 20 MIN. FIRE RATED DOOR @ ELEVATOR
- 5 FIRE SPRINKLER HEAD
- 6 GARAGE SHAFT VENTILATION (SEE DETAIL)
- 7 BLDG. LINE BETWEEN MAIN DECK & GARAGE
- 8 AUTOMATIC OVERHEAD GARAGE DOOR
- 9 CONCRETE BUMPER (3'-0" AWAY FROM STALL)
- 10 PARKING STRIPING PER LA CITY
- 11 SUMP PUMP (SEE PLUMB'G. & MECH. DWGS. FOR SIZE & FINAL LOCATION)
- 12 TRENCH GRATING, SEE DETAIL
- 13 EMERGENCY DRAIN, (SEE PLUMB'G. DWGS.)
- 14 LOCATION OF FUTURE OUTLET A VEHICLE (EV) CHARGING STATION #1 & #2 ON FORM GRN 14, SHEET 14.01
- 15 EXIT SIGNS PER FIRE DEPT. REQUIREMENTS
- 16 4" DIA. SUB-DRAIN AROUND PERIMETER
- 17 CONCRETE STAIRWAY W/ NON-SLIP STRIPING PER H/C REQUIRED/TYPE




















- (2" W) Nosing
- Handrail
- LED Fixtures
- Receptacles
- Fire Hydrant
- 19
- "Exit" Signage
- (4'x6") Concrete Wheel Stop
- (6" W) Parking Striping
- Fire Sprinkler Head
- 5a
- 16
- ADA Sign
- Switches

- 80.0 FT
- 17.8 FT
- 30.0 EA
- 10.0 EA
- 2.0 EA
- 1.0 EA
- 2.0 EA
- 11.0 EA
- 89.1 FT
- 1.0 EA
- 2.0 EA
- 1.0 EA
- 1.0 EA
- 11.0 EA

PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"
7 STD. + 4 COMPACTS=11 SPACES



177.5 FT	
36.5 FT	
250.7 FT	
228.8 FT	
31.1 FT	
104.7 FT	
39.2 FT	
4.7 FT	
1.0 EA	

78.9 FT	
5.0 EA	
1.0 EA	
1.0 EA	
2.0 EA	
119.0 SQ FT	
6.0 EA	
4.0 EA	
4.0 EA	
44.3 FT	
12.0 EA	
7.0 EA	
9.0 EA	
5.0 EA	
3.0 EA	
1.0 EA	
42.1 FT	
2.0 EA	
3.0 EA	

97.4 SQ FT	
2.0 EA	
3.0 EA	
3.0 EA	
1.0 EA	
28.4 FT	
3.0 EA	
1.0 EA	
1.0 EA	
2.0 EA	
39.5 FT	
2546.4 SQ FT	
777.8 FT	
425.0 SQ FT	
252.9 FT	
111.5 FT	

13.0 EA	●
3.0 EA	●
1.0 EA	●
1.0 EA	●
1.0 EA	●
3.0 EA	●
3.0 EA	●
1.0 EA	●
1.0 EA	●
1.0 EA	●
2.0 EA	●
2.0 EA	●
1.0 EA	●
1.0 EA	●
1.0 EA	●
1.0 EA	●
1.0 EA	●
4.0 EA	●
3.0 EA	●
4.0 EA	●
2.0 EA	●
27.1 FT	■
26.9 FT	■
29.0 EA	●
1.0 EA	●
132.0 EA	▲
45.0 EA	▲
41.0 EA	▲
337.6 FT	■
31.5 FT	■













IRRIGATION CONTROLLER IS WEATHER BASED, PROVIDED BY LANDSCAPE ON SHEET L-3, 'HUNTER' SOLAR SYNC ET. LOCATED ON EAVE OF ROOF FACING THE STREET. FINAL LOCATION TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. REFER TO DETAIL 2/ G-1 FOR ADDITIONAL INFORMATION.

FOR FLOOR PLAN KEY NOTES SEE TYPICAL
UNITS AND REFER TO SHT. T-1 FOR ALL INFO

1. KITCHEN OUTLET AND SWITCH WHEN OVER COUNTER REQUIRED WITHIN OBSTRUCTED REACH RANGE. REF 1138A.3.1.2 AND 1138A.3.2.2. CABINET WITH FRONT APPROACH WITH KNEE AND TOE CLEARANCE CANNOT BE MORE THAN 25" AND 24" FOR SIDE REACH.
2. IF SINK WITH BASE CABINET (INCLUDING REMOVABLE TYPE), 24" MIN FROM CENTERLINE OF SINK TO SIDE WALL IS REQUIRED PARALLEL APPROACH. IF BOTTOM OF SINK IS CLEAR, THEN 18" MIN FROM CENTERLINE OF SINK TO SIDE WALL.** PROVIDE 30" MIN WIDE KNEE & TOE CLEARANCE UNDER SINK. SEE A-3 TO A-5B.
3. BATHROOM OUTLET AND SWITCH WHEN OVER COUNTER REQUIRED WITHIN OBSTRUCTED REACH RANGE. REF 1138A.3.1.2 AND 1138A.3.2.2. CABINET WITH FRONT APPROACH WITH KNEE AND TOE CLEARANCE CANNOT BE MORE THAN 25" AND 24" FOR SIDE REACH. REF 1138A.3.1 AND 1138A.3.2.2. SEE A-3 TO A-5B.
4. PROVIDE APPROPRIATE SIGNAGES IN THE BUILDING. REF 1143A.

- ⚠ ALL STONE, CULTURED STONE AND TILED KITCHEN COUNTERTOPS
- ⚠ PROVIDE GRAB BARS BLOCKING AT ALL BATHROOMS & BLOCKING FOR ALL FOLD-UP GRAB BARS INCLUDING SHOWERS SEE SHEET T-3/4,5 & 6
- ⚠ REMOVABLE BASE CABINET UNDER KITCHEN SINKS

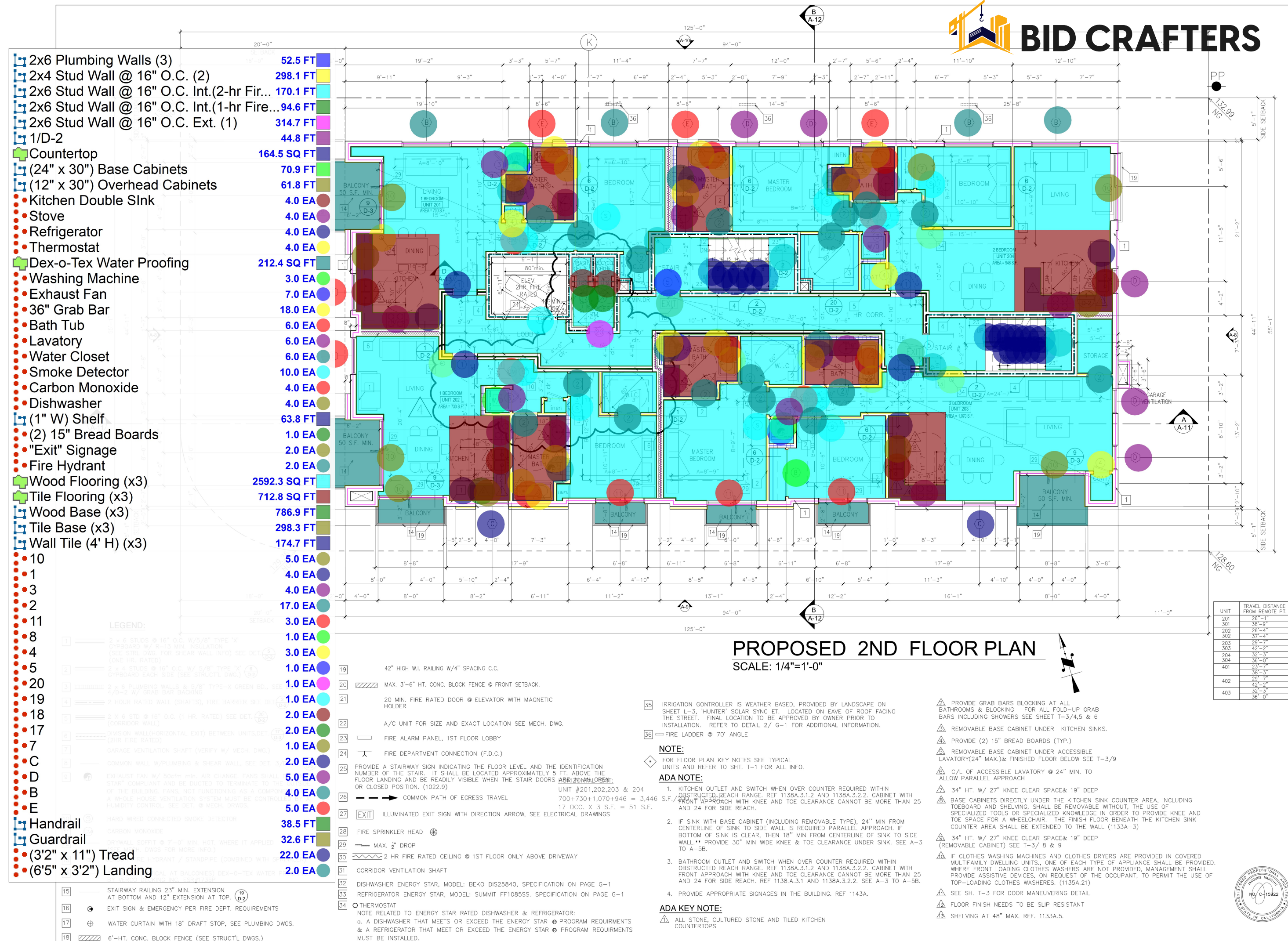

 PROVIDE (2) 15" BREAD BOARDS (TYP.)
 REMOVABLE BASE CABINET UNDER ACCESSIBLE LAVATORY (24" MAX.) & FINISHED FLOOR BELOW SEE T-3/9
 C/L OF ACCESSIBLE LAVATORY @ 24" MIN. TO ALLOW PARALLEL APPROACH
 34" HT. W/ 27" KNEE CLEAR SPACE & 19" DEEP
 BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVING, SHALL BE REMOVABLE WITHOUT, THE USE OF SPECIALIZED TOOLS OR SPECIALIZED KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE SPACE FOR A WHEELCHAIR. THE FINISH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL (1133A-3)
 34" HT. W/ 27" KNEE CLEAR SPACE & 19" DEEP (REMOVABLE CABINET) SEE T-3/ 8 & 9
 IF CLOTHES WASHING MACHINES AND CLOTHES DRYERS ARE PROVIDED IN COVERED MULTIFAMILY DWELLING UNITS, ONE OF EACH TYPE OF APPLIANCE SHALL BE PROVIDED WHERE FRONT LOADING CLOTHES WASHERS ARE NOT PROVIDED, MANAGEMENT SHALL PROVIDE ASSISTIVE DEVICES, ON REQUEST OF THE OCCUPANT, TO PERMIT THE USE OF TOP-LOADING CLOTHES WASHERS. (1135A.21)
 SEE SH. T-3 FOR DOOR MANEUVERING DETAIL
 FLOOR FINISH NEEDS TO BE SLIP RESISTANT
 SHELVING AT 48" MAX. REF. 1133A.5.





WEST PACIFICA DESIGN-CONSTR., INC.
JPDC
JACQUES MASHI ARCHITECT A.I.A.
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TEL (310) 855-0823
FAX (310) 855-2460
E-mail: wpc@tcglobal.net

PROPOSED 4 STORY 14 UNIT OVER 1 LEVEL SUBTERRANEAN GARAGE	OWNER	DAVID NEMAN & RAMIN NEMAN	LOCATION	1568 ORANGE GROVE AVE., LOS ANGELES, CA 90019
DATE: 8-29-22	DESIGNED BY:			
DRAWN:				
SCALE:				
SHEET:				





BID CRAFTERS

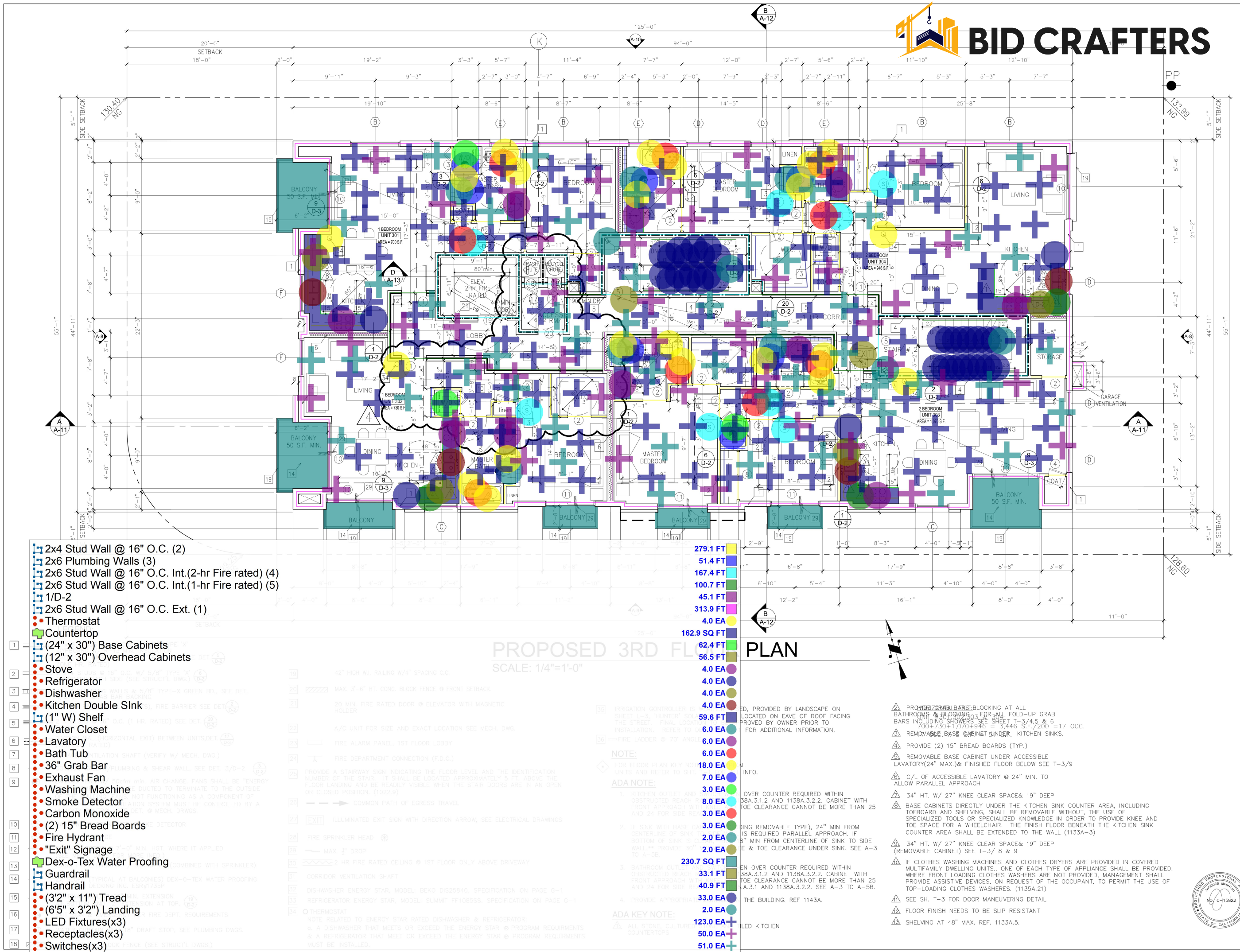
ITEM	DATE	REVISIONS
1	07/27/2007	017 CORRECTIONS
2	07/27/2007	017 CORRECTIONS
3	07/27/2007	017 CORRECTIONS
4	07/27/2007	017 CORRECTIONS
5	07/27/2007	017 CORRECTIONS

WEST PACIFICA DESIGN-CONSTR., INC.
JACQUES MASHIHI ARCHITECT A.I.A.
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WPD
JACQUES MASHIHI ARCHITECT A.I.A.
8671 WILSHIRE BLVD., STE. 610
BEVERLY HILLS, CA. 90211

PROJECT: PROPOSED 4 STORY 14 UNIT OVER 1 LEVEL SUBTERRANEAN GARAGE
OWNER: DAVID NEMAN & RAMIN NEMAN
LOCATION: 1568 ORANGE GROVE AVE., LOS ANGELES, CA 90019

JOB# 2007
DESIGNED: [Signature]
SCALE: [Signature]
DATE: 8-29-22
SHT. (N) A-5



- 2x4 Stud Wall @ 16" O.C. (2)
- 2x6 Plumbing Walls (3)
- 2x6 Stud Wall @ 16" O.C. Int.(2-hr Fire rated) (4)
- 2x6 Stud Wall @ 16" O.C. Int.(1-hr Fire rated) (5)
- 1/D-2
- 2x6 Stud Wall @ 16" O.C. Ext. (1)
- Thermostat
- Countertop
- (24" x 30") Base Cabinets
- (12" x 30") Overhead Cabinets
- Stove
- Refrigerator
- Dishwasher
- Kitchen Double Sink
- (1" W) Shelf
- Water Closet
- Lavatory
- Bath Tub
- 36" Grab Bar
- Exhaust Fan
- Washing Machine
- Smoke Detector
- Carbon Monoxide
- (2) 15" Bread Boards
- Fire Hydrant
- "Exit" Signage
- Dex-o-Tex Water Proofing
- Guardrail
- Handrail
- (32" x 11") Tread
- (65" x 32") Landing
- LED Fixtures(x3)
- Receptacles(x3)
- Switches(x3)

PROPOSED 3RD FL. PLAN

SCALE: 1/4"=1'-0"

279.1 FT	51.4 FT	167.4 FT	100.7 FT	45.1 FT	313.9 FT	4.0 EA	162.9 SQ FT	62.4 FT	56.5 FT	4.0 EA	4.0 EA	4.0 EA	4.0 EA	59.6 FT	6.0 EA	6.0 EA	18.0 EA	7.0 EA	3.0 EA	8.0 EA	3.0 EA	2.0 EA	2.0 EA	230.7 SQ FT	33.1 FT	40.9 FT	33.0 EA	2.0 EA	123.0 EA	50.0 EA	51.0 EA
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NOTE:

FOR FLOOR PLAN KEY NOT UNITS AND REFER TO SHEET.

ADA NOTE:

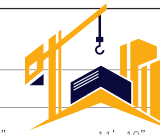
- KITCHEN OUTLET AND OBSTRUCTED REACH FRONT APPROACH W/ AND 24 FOR SIDE RE
- IF SINK WITH BASE C CENTERLINE OF SINK BOTTOM OF SINK IS (WALL** PROVIDE 30" TO A-55
- BATHROOM OUTL OBSTRUCTED REACH FRONT APPROACH W/ AND 24 FOR SIDE RE
- PROVIDE APPROPRI

ADA KEY NOTE:

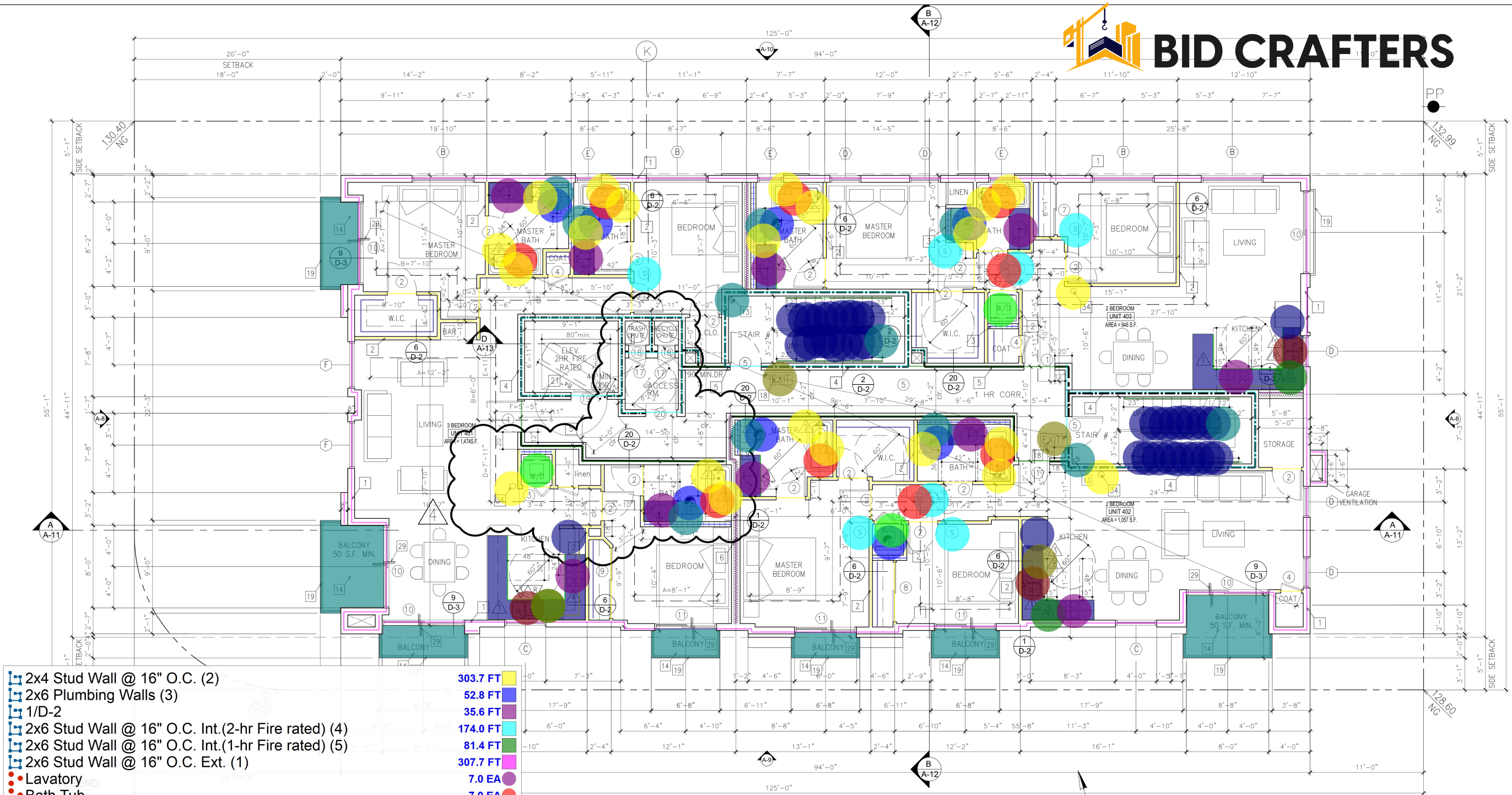
ALL STONE, CULTUR COUNTERTOPS

ED, PROVIDED BY LANDSCAPE ON LOCATED ON EAVE OF ROOF FACING PROVIDED BY OWNER PRIOR TO FOR ADDITIONAL INFORMATION.

- PROVIDE ZERO BARS BLOCKING AT ALL BATHROOMS & BLOCKING FOR ALL FOLD-UP GRAB BARS INCLUDING SHOWERS SEE SHEET T-3/4.5 & 6 700+750+1,070+946 = 3,446 S.F./200 = 17 OCC.
- REMOVABLE BASE CABINET UNDER KITCHEN SINKS.
- PROVIDE (2) 15" BREAD BOARDS (TYP.)
- REMOVABLE BASE CABINET UNDER ACCESSIBLE LAVATORY(24" MAX.)& FINISHED FLOOR BELOW SEE T-3/9
- C/L OF ACCESSIBLE LAVATORY @ 24" MIN. TO ALLOW PARALLEL APPROACH
- 34" HT. W/ 27" KNEE CLEAR SPACE& 19" DEEP
- BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVING, SHALL BE REMOVABLE WITHOUT, THE USE OF SPECIALIZED TOOLS OR SPECIALIZED KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE SPACE FOR A WHEELCHAIR. THE FINISH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL (1133A-3)
- 34" HT. W/ 27" KNEE CLEAR SPACE& 19" DEEP (REMOVABLE CABINET) SEE T-3/ 8 & 9
- IF CLOTHES WASHING MACHINES AND CLOTHES DRYERS ARE PROVIDED IN COVERED MULTIFAMILY DWELLING UNITS, ONE OF EACH TYPE OF APPLIANCE SHALL BE PROVIDED. WHERE FRONT LOADING CLOTHES WASHERS ARE NOT PROVIDED, MANAGEMENT SHALL PROVIDE ASSISTIVE DEVICES, ON REQUEST OF THE OCCUPANT, TO PERMIT THE USE OF TOP-LOADING CLOTHES WASHERS. (1135A.21)
- SEE SH. T-3 FOR DOOR MANEUVERING DETAIL
- FLOOR FINISH NEEDS TO BE SLIP RESISTANT
- SHELVING AT 48" MAX. REF. 1133A.5.



BID CRAFTERS



PROPOSED 4TH FLOOR PLAN

SCALE: 1/4"=1'-0"

- 2x4 Stud Wall @ 16" O.C. (2)
- 2x6 Plumbing Walls (3)
- 1/D-2
- 2x6 Stud Wall @ 16" O.C. Int.(2-hr Fire rated) (4)
- 2x6 Stud Wall @ 16" O.C. Int.(1-hr Fire rated) (5)
- 2x6 Stud Wall @ 16" O.C. Ext. (1)
- Lavatory
- Bath Tub
- Water Closet
- Exhaust Fan
- 36" Grab Bar
- Countertop
- (1" W) Shelf
- Smoke Detector
- (24" x 30") Base Cabinets
- Carbon Monoxide
- Washing Machine
- Fire Hydrant
- Thermostat
- Stove
- Refrigerator
- (2) 15" Bread Boards
- Dishwasher
- (12" x 30") Overhead Cabinets
- "Exit" Signage
- Kitchen Double Slnk
- Dex-o-Tex Water Proofing
- Handrail
- Guardrail
- (3'2" x 11") Tread
- (6'5" x 3'2") Landing

303.7 FT	52.8 FT	35.6 FT	174.0 FT	81.4 FT	307.7 FT	7.0 EA	7.0 EA	7.0 EA	8.0 EA	19.0 EA	149.6 SQ FT	69.6 FT	7.0 EA	38.5 FT	2.0 EA	3.0 EA	2.0 EA	3.0 EA	3.0 EA	3.0 EA	3.0 EA	2.0 EA	25.1 FT	210.7 SQ FT	41.5 FT	33.2 FT	34.0 EA	2.0 EA
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- 35 IRRIGATION CONTROLLER IS WEATHER BASED, PROVIDED BY LANDSCAPE ON SHEET L-3, "HUNTER" SOLAR SYNC ET. LOCATED ON EAVE OF ROOF FACING THE STREET. FINAL LOCATION TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. REFER TO DETAIL 2/ G-1 FOR ADDITIONAL INFORMATION.
- 36 FIRE LADDER @ 70° ANGLE

NOTE:

- FOR FLOOR PLAN KEY NOTES SEE TYPICAL UNITS AND REFER TO SHT. T-1 FOR ALL INFO.

ADA NOTE:

- KITCHEN OUTLET AND SWITCH WHEN OVER COUNTER REQUIRED WITHIN OBSTRUCTED REACH RANGE. REF 1138A.3.1.2 AND 1138A.3.2.2. CABINET WITH FRONT APPROACH WITH KNEE AND TOE CLEARANCE CANNOT BE MORE THAN 25 AND 24 FOR SIDE REACH. REF 1138A.3.1 AND 1138A.3.2.2. SEE A-3 TO A-5B.
- IF SINK WITH BASE CABINET (INCLUDING REMOVABLE TYPE), 24" MIN FROM CENTERLINE OF SINK TO SIDE WALL IS REQUIRED PARALLEL APPROACH. IF BOTTOM OF SINK IS CLEAR, THEN 18" MIN FROM CENTERLINE OF SINK TO SIDE WALL. PROVIDE 30" MIN WIDE KNEE & TOE CLEARANCE UNDER SINK. SEE A-3 TO A-5B.
- BATHROOM OUTLET AND SWITCH WHEN OVER COUNTER REQUIRED WITHIN OBSTRUCTED REACH RANGE. REF 1138A.3.1.2 AND 1138A.3.2.2. CABINET WITH FRONT APPROACH WITH KNEE AND TOE CLEARANCE CANNOT BE MORE THAN 25 AND 24 FOR SIDE REACH. REF 1138A.3.1 AND 1138A.3.2.2. SEE A-3 TO A-5B.
- PROVIDE APPROPRIATE SIGNAGES IN THE BUILDING. REF 1143A.

ADA KEY NOTE:

- ALL STONE, CULTURED STONE AND TILED KITCHEN COUNTERTOPS

- PROVIDE GRAB BARS BLOCKING AT ALL BATHROOMS & BLOCKING FOR ALL FOLD-UP GRAB BARS INCLUDING SHOWERS SEE SHEET T-3/4,5 & 6
- REMOVABLE BASE CABINET UNDER KITCHEN SINKS.
- PROVIDE (2) 15" BREAD BOARDS (TYP.)
- REMOVABLE BASE CABINET UNDER ACCESSIBLE LAVATORY(24" MAX.)& FINISHED FLOOR BELOW SEE T-3/9
- C/L OF ACCESSIBLE LAVATORY @ 24" MIN. TO ALLOW PARALLEL APPROACH
- 34" HT. W/ 27" KNEE CLEAR SPACE& 19" DEEP
- BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVING, SHALL BE REMOVABLE WITHOUT, THE USE OF SPECIALIZED TOOLS OR SPECIALIZED KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE SPACE FOR A WHEELCHAIR. THE FINISH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL (1133A-3)
- 34" HT. W/ 27" KNEE CLEAR SPACE& 19" DEEP (REMOVABLE CABINET) SEE T-3/ 8 & 9
- IF CLOTHES WASHING MACHINES AND CLOTHES DRYERS ARE PROVIDED IN COVERED MULTIFAMILY DWELLING UNITS, ONE OF EACH TYPE OF APPLIANCE SHALL BE PROVIDED. WHERE FRONT LOADING CLOTHES WASHERS ARE NOT PROVIDED, MANAGEMENT SHALL PROVIDE ASSISTIVE DEVICES, ON REQUEST OF THE OCCUPANT, TO PERMIT THE USE OF TOP-LOADING CLOTHES WASHERS. (1135A.21)
- SEE SH. T-3 FOR DOOR MANEUVERING DETAIL
- FLOOR FINISH NEEDS TO BE SLIP RESISTANT
- SHELVING AT 48" MAX. REF. 1133A.5.

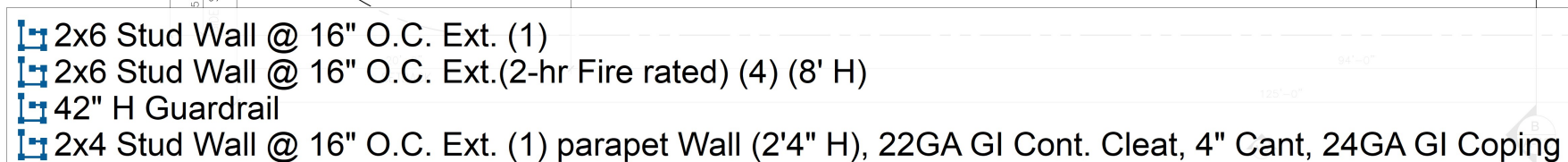























ITEM	DATE	REVISIONS
1	07/07/2020	REV. 001
2	07/07/2020	REV. 002
3	07/07/2020	REV. 003
4	07/07/2020	REV. 004
5	07/07/2020	REV. 005
6	07/07/2020	REV. 006
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86	07/07/2020	REV. 086
87	07/07/2020	REV. 087
88	07/07/2020	REV. 088
89	07/07/2020	REV. 089
90	07/07/2020	REV. 090
91	07/07/2020	REV. 091
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93	07/07/2020	REV. 093
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96	07/07/2020	REV. 096
97	07/07/2020	REV. 097
98	07/07/2020	REV. 098
99	07/07/2020	REV. 099
100	07/07/2020	REV. 100

WEST PACIFICA DESIGN-CONSTR., INC.
JACQUES MASHIHI ARCHITECT A.I.A.
TEL (310) 855-0923 FAX (310) 855-2460
E-mail: wpa@pacificadesign.com
8671 WILSHIRE BLVD., STE. 610
BEVERLY HILLS, CA. 90211

PROPOSED 4 STORY 14 UNIT OVER 1 LEVEL SUBTERRANEAN GARAGE
DAVID NEMAN & RAMIN NEMAN
1568 ORANGE GROVE AVE., LOS ANGELES, CA 90019

JOB# 2007	DESIGNED:
DRAWN:	SCALE:
DATE: 1-14-22	SHIT:
A-6	



- | | |
|--------------|---|
| 15.5 FT |  |
| 134.3 FT |  |
| 209.6 FT |  |
| 280.7 FT |  |
| 206.7 SQ FT |  |
| 3.0 EA |  |
| 2.0 EA |  |
| 744.6 SQ FT |  |
| 3205.7 SQ FT |  |
| 2.0 EA |  |
| 14.0 EA |  |
| 2.0 EA |  |
| 20.0 FT |  |
| 24.9 FT |  |
| 27.0 EA |  |
| 2.0 EA |  |
| 2.0 EA |  |
| 1.0 EA |  |
| 7.0 EA |  |
| 4.0 EA |  |
| 5.0 EA |  |



ITEM	DATE	REVISIONS	ITEM	DATE	REVISIONS
	01/17/2000	△		△	
		01/17/2000		△	
	01/19/2000	△		△	
		01/19/2000		△	
	01/17/2000	△		△	
		01/17/2000		△	
	01/20/2000	△		△	
		01/20/2000		△	

WEST PACIFIC DESIGN—CONSTRUCT, INC.
P JACQUES MASHI ARCHITECT A.I.A.
D 8671 WILSHIRE BLVD., STE. 610
BEVERLY HILLS, CA. 90211
TEL. (310) 855-0922 FAX (310) 855-2460
E-mail: info@wpcglobal.net

PROPOSED 4 STORY 14 UNIT OVER 1 LEVEL SUBTERRANEAN GARAGE

DAVID NEMAN & RAMIN NEMAN

LOCATION 1568 ORANGE GROVE AVE., LOS ANGELES, CA 90019

JOB# 2007	
DESIGNED:	
DRAWN:	.
SCALE:	.
DATE:	01-14-22
SHT.	
	A-7



PROPOSED SOUTH ELEVATION

SCALE: 1/4"=1'-0"

- Wood Siding
- Stucco
- Graffiti Resistant Finish
- 42" High Steel Railing
- Gas Meter

729.9 SQ FT
2176.4 SQ FT
305.4 SQ FT
184.6 FT
0.0 EA

ELEVATION NOTES

- SEE MATERIAL BOARD FOR EXACT COLOR
SMOOTH STUCCO FINISH
- VENEER TILE BASE WALL
- WOOD SIDING HORIZONTAL W/ GROVES 4" O.C.
- 42" HIGH STEEL RAILING
- ENTRY DOOR: AL/ GLASS STOREFRONT
- AL. FRAME DBL. GLAZED WINDOW (SEE SCHEDULE)
- LIGHTING FIXTURE/SHIELDED
- DOWN SPOUT
- GARAGE SHAFT VENTILATION
- PROVIDE APPROVED
GRAFFITI RESISTANT FINISH
FOR THE FIRST 9' OF EXTERIOR WALL
GENESIS COATING INC.
RESERCH REPORT:L.A. RR#25042
- 6'-0" HIGH CONC. BLOCK WALL MEASURED FROM NAT. GRADE



ITEM	DATE	REVISIONS
1	01/17/2020	REVISED
2	01/17/2020	REVISED
3	01/17/2020	REVISED
4	01/17/2020	REVISED
5	01/17/2020	REVISED
6	01/17/2020	REVISED
7	01/17/2020	REVISED
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96	01/17/2020	REVISED
97	01/17/2020	REVISED
98	01/17/2020	REVISED
99	01/17/2020	REVISED
100	01/17/2020	REVISED

WEST PACIFICA DESIGN-CONSTR., INC.
JACQUES MASHIHI ARCHITECT A.I.A.
TEL (310) 855-0823
FAX (310) 855-2460
E-mail: wpa@pacifica-design.com

PROPOSED 4 STORY 14 UNIT OVER 1 LEVEL SUBTERRANEAN GARAGE
OWNER: DAVID NEMAN & RAMIN NEMAN
LOCATION: 1568 ORANGE GROVE AVE., LOS ANGELES, CA 90019



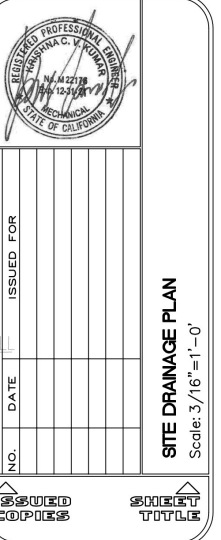
- Wood Siding
- Stucco
- Graffiti Resistant Finish



DESIGNED:	
DRAWN:	
SCALE:	
DATE:	1-14-22
HEIGHT:	A-10

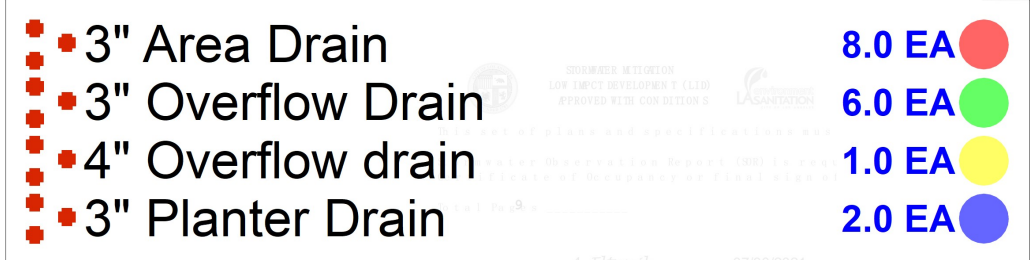


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		06		
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		04		
		04		
		02		
		01		
DRAWN BY:		DATE:		CHECKED BY:
		08-18-21		



PROJECT	1568 ORANGE GROVE AVE. LOS ANGELES, CA. 90019	<p>DOCUMENTS AND SHALL BE CONSIDERED TO BE THE PROPERTY OF THE COMPANY. NO PARTS OF THESE DOCUMENTS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE COMPANY.</p>
CLIENT		<p>COMPANY OF AMERICA SYSTEMS, INC.</p>

190804
 PROJECT NO.
 SHEET NO.
 LID-2



PICKFORD STREET

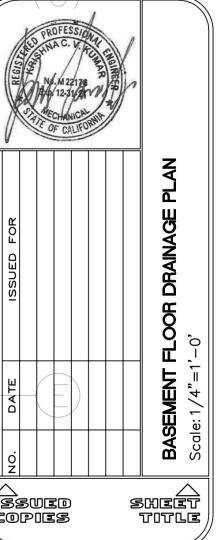
SITE DRAINAGE PLAN

SCALE: 3/16"=1'-0"



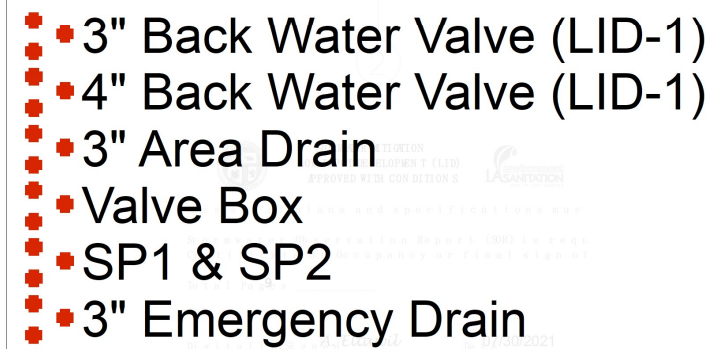


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		04		
		03		
		02		
		01		
		DRAWN BY:		DATE:
				08-18-21
		CHECKED BY:		DATE:



<p>PROJECT</p>	<p>1568 ORANGE GROVE AVE. LOS ANGELES, CA. 90019</p>	<p>CLIENT</p>
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190804	PROJECT NO.
	SHEET NO.
LID-3.0	



6.0 EA 

1.0 EA 

2.0 EA 

1.0 EA 

1.0 EA 

2.0 EA 

BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"





BID CRAFTERS

REVISIONS	DATE	ITEM

WEST PACIFICA DESIGN-CONSTR., INC.
JACQUES MASHIHI ARCHITECT A.I.A.
TEL: (310) 855-0823
FAX: (310) 855-0824
Email: wpc@wpcdesign.net
8671 WILSHIRE BLVD., STE. 610
BEVERLY HILLS, CA. 90211

PROJECT: PROPOSED 4 STORY 14 UNIT OVER 1 LEVEL SUBTERRANEAN GARAGE
OWNER: ELITE INVESTMENT MANAGEMENT GROUP LLC
LOCATION: 1568 ORANGE GROVE AVE., LOS ANGELES, CA 90019

DESIGNED:	
DRAWN:	
SCALE:	
DATE:	
SHT.	

A-8



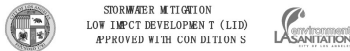
PROPOSED WEST ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- 1 SEE MATERIAL BOARD FOR EXACT COLOR
SMOOTH STUCCO FINISH
- 2 VENEER TILE BASE WALL
- 3 WOOD SIDING HORIZONTAL W/ GROVES 4" O.C.
- 4 42" HIGH STEEL RAILING
- 5 ENTRY DOOR: AL./ GLASS STOREFRONT
- 6 AL. FRAME DBL. GLAZED WINDOW (SEE SCHEDULE)
- 7 LIGHTING FIXTURE/SHIELDED
- 8 DOWN SPOUT
- 9 GARAGE SHAFT VENTILATION
- 10 PROVIDE APPROVED
GRAFFITI RESISTANT FINISH
FOR THE FIRST 9' OF EXTERIOR WALL
GENESIS COATING INC.
RESEARCH REPORT:LA. RR#25042
- 11 6'-0" HIGH CONC. BLOCK WALL MEASURED FROM NAT. GRADE



This set of plans and specifications must be read in conjunction with the project specifications and the LID manual.

1896.4 SQ FT

49.7 SQ FT

112.4 FT

- Stucco
- Wood Siding
- 42" High Steel Railing

REVISIONS	DATE
1.	7.10.18
2.	11.05.18
3.	11.07.18
4.	4.19.18
5.	8.5.19
6.	10.22.19
7.	11.06.19
8.	12.02.19
9.	



ASLA
Yael Lir Landscape Architects
1010 Sycamore Ave. Suite 313
South Pasadena, CA 91030
Tel 323.258.5222
Fax 323.258.5333
yael@yaellir.com

14 UNIT
1568 ORANGE GROVE AVE.
LOS ANGELES, CA 90019

IRRIGATION PLAN



DATE: MARCH 29, 2018
SCALE: 1/8"=1'-0"
JOB NUMBER: 200618
DRAWN BY: PATRICIA GUM

WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE EVAPOTRANSPIRATION (Eto): 50.1

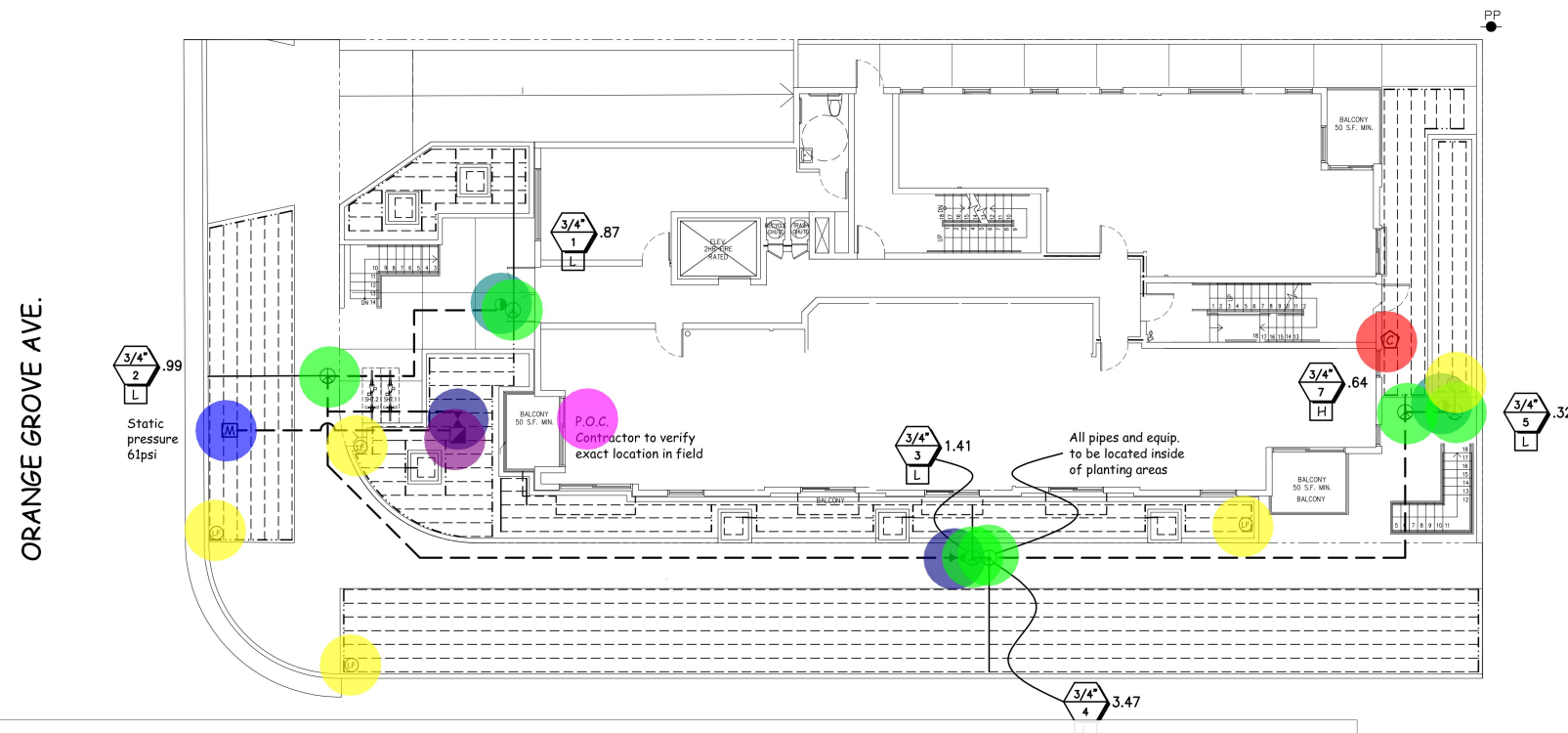
HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	LANDSCAPE AREA	ETAF x AREA	ESTIMATED TOTAL WATER USE
1 / water use plants	.3	DRIP	.81	.37	295	109.15	3390
2 / water use plants	.3	DRIP	.81	.37	337	124.69	3873
3 / water use plants	.3	DRIP	.81	.37	478	176.86	5493
4 / water use plants	.3	DRIP	.81	.37	1200	444	13791
5 / water use plants	.3	DRIP	.81	.37	110	40.7	1264
6 / water use plants	.3	DRIP	.81	.37	384	142.08	4413
7 / water use plants	1.0	DRIP	.81	1.0	217	217	6740
		SUM			3,021	1,254.48	
ESTIMATED TOTAL WATER USE (ETWU)							38,964
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)							51,611

ETAF CALCULATION

ETAF x AREA	1,254.48
TOTAL AREA	3,021
AVERAGE ETAF	.41

IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
- SET ALL VALVES AND QUICK COUPLERS NEXT TO WALKS OR PAVED SURFACES.
- ALL SPRINKLER HEADS ARE TO HAVE TRIPLE SWING JOINTS (EXCEPT WHERE NOTED ON PLANS).
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF THE SAID REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER.
- 120VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS.
- BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT I.D. NUMBER BY CALLING 1-800-422-4133. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE I.D. NUMBER IS OBTAINED AND BEFORE THE EXCAVATION WORK IS STARTED SO THAT UTILITY OWNERS CAN BE NOTIFIED.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY ONTO WALKS, STREETS, ETC.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE GRADE DIFFERENCES, LOCATION OF WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER ROADWAYS AND PAVING, ETC.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE OF 80 P.S.I. AND A MAXIMUM FLOW DEMAND OF 25 G.P.M. THE CONTRACTOR SHALL VERIFY WATER PRESSURES PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE ARCHITECT.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES IN THE AREA. DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE INTENT OF THE CONTRACTOR IS TO PROVIDE 100% COVERAGE TO ALL PLANTING AREAS. AS PART OF THE SCOPE OF WORK, PROVIDE ANY ADDITIONAL HEADS, SPECIAL NOZZLES, OR PATTERNS TO ACHIEVE PROPER COVERAGE WITH A MINIMUM OF OVER SPRAY AT NO ADDITIONAL COST TO THE OWNER.
- INSTALLATION FOR THE CONTROL WIRES SHALL FOLLOW MAINLINE ROUTING.
- PROVIDE SLEEVES AS SHOWN ON DRAWING OR AS NEEDED. USE SIZE DIAMETER MIN. SCH. 80 P.V.C. MIN. DEPTH TO TOP OF LINE.
- LOCATE VALVE CHART IN CONTROLLER - REDUCE AND ENCASE IN PLASTIC (AS BUILT).
- GUARANTEE: THE INSTALLED SPRINKLER SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. SHOULD ANY TROUBLE DEVELOP WITHIN THE TIME SPECIFIED DUE TO INFERIOR OR FAULTY MATERIAL OR WORKMANSHIP, THE TROUBLE SHALL BE CORRECTED BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER.
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING THIS SECTION OF WORK.



- Gate Valve
- Backflow Preventer
- Quick Coupler
- Weather Sensor
- Control Valve
- Line Flush Valve
- Meter
- Point of Connection

- 2.0 EA
- 1.0 EA
- 2.0 EA
- 1.0 EA
- 6.0 EA
- 5.0 EA
- 1.0 EA
- 1.0 EA

IRRIGATION LEGEND		
DESCRIPTION	SYM.	
'NIBCO' GATE VALVE T-113	⋈	
'BROOKS' VALVE BOX SERIES 1419	⊕	
'RAINBIRD' QUICK COUPLER 44 LRC 1"	⊕	
'WILKINS' BACKFLOW PREVENTER 375	⊕	
'HUNTER' SOLAR SYNC WEATHER SENSOR	⊕	
'TORO' CUSTOM COMMAND WEATHER BASED WATER METER	⊕	
SLEEVING SCH. 40 P.V.C.	---	
PRESSURE LINE CLASS 315 PVC	---	
NON-PRESSURE LINE SCH. 40 P.V.C.	---	
POINT OF CONNECTION	P.O.C.	
NETAFIM LEGEND		
'NETAFIM' LVC210075-LF	⊕	
'NETAFIM' LINE FLUSH VALVE	⊕	
'NETAFIM' TECHLINE CV TLOCV-18025	⊕	
NON-PRESSURE 1" SCH. 40 PVC HEADER	---	
SIZE NO.	GPM	
H-HYDROZONE		
LANDSCAPE AREA:		3,021 SF
IRRIGATION WATER SUPPLY TYPE:		POTABLE WATER SUPPLY

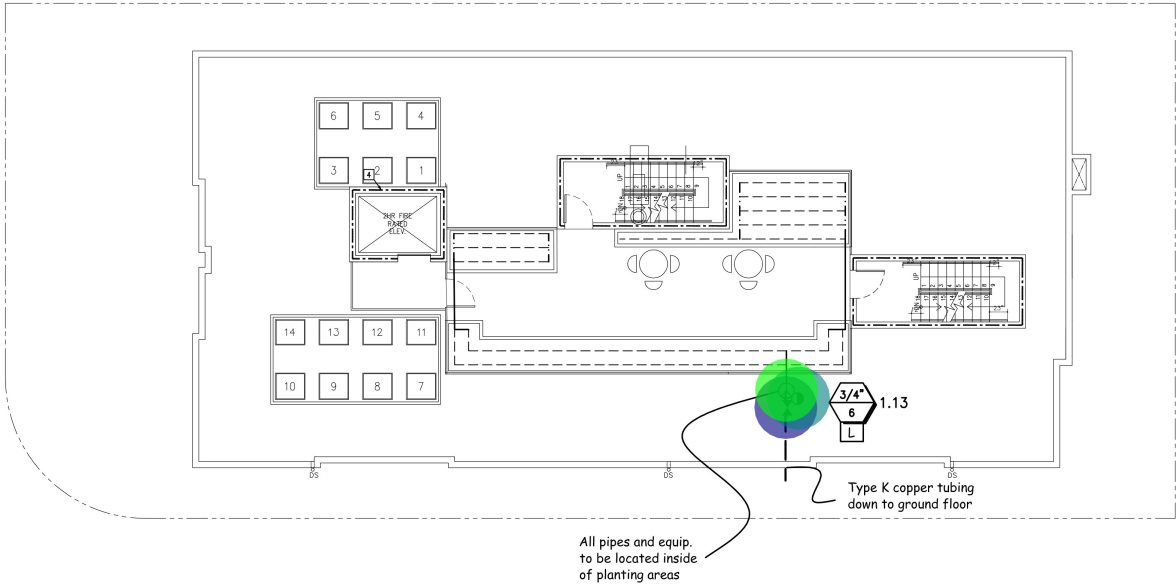
- "I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS"
- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICE.
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR A LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSE
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.
- "I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE"
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR
- 4/9/2016

REVISIONS	DATE
1.	7.10.18
2.	11.05.18
3.	11.07.18
4.	4.19.18
5.	8.5.19
6.	10.22.19
7.	11.06.19
8.	
9.	



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South Pasadena, CA 91030
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Fax 323.258.5333
yael@yaellir.com

14 UNIT
1568 ORANGE GROVE AVE.
LOS ANGELES, CA 90019



ROOF IRRIGATION PLAN

- •

•

•

•

•

Control Valve

Gate Valve

Quick Coupler
- 1.0 EA

1.0 EA

1.0 EA

IRRIGATION LEGEND

DESCRIPTION	SYM.	
'NIBCO' GATE VALVE T-113		
'BROOKS' VALVE BOX SERIES 1419		
'RAINBIRD' QUICK COUPLER 44 LRC 1"		
'WILKINS' BACKFLOW PREVENTER 375		
'HUNTER' SOLAR SYNC WEATHER SENSOR		
'TORO' CUSTOM COMMAND WEATHER BASED WATER METER		
SLEEVING SCH. 40 P.V.C.		TWICE LINE SIZE (MIN.)
PRESSURE LINE CLASS 315 PVC		1.5"
NON-PRESSURE LINE SCH. 40 P.V.C.		SEE PLAN FOR SIZE
POINT OF CONNECTION		VERIFY LOCATION ON SITE

NETAFIM LEGEND

'NETAFIM' LVCZ10075-LF		CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR.
'NETAFIM' LINE FLUSH VALVE		
'NETAFIM' TECHLINE CV TLCV4-18025		BURIED 3" MIN.
NON-PRESSURE 1" SCH. 40 PVC HEADER		BURIED 3" MIN.

SIZE NO. 6

GPM

LANDSCAPE AREA: 3,021 SF

IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

* I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS*

* I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE*

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICE.

A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSE

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR A LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

4/9/2016

4/9/2016

ROOF IRRIGATION PLAN



DATE: MARCH 29, 2018
SCALE: 1/8"=1'-0"
JOB NUMBER: 200618
DRAWN BY: PATRICIA GUM

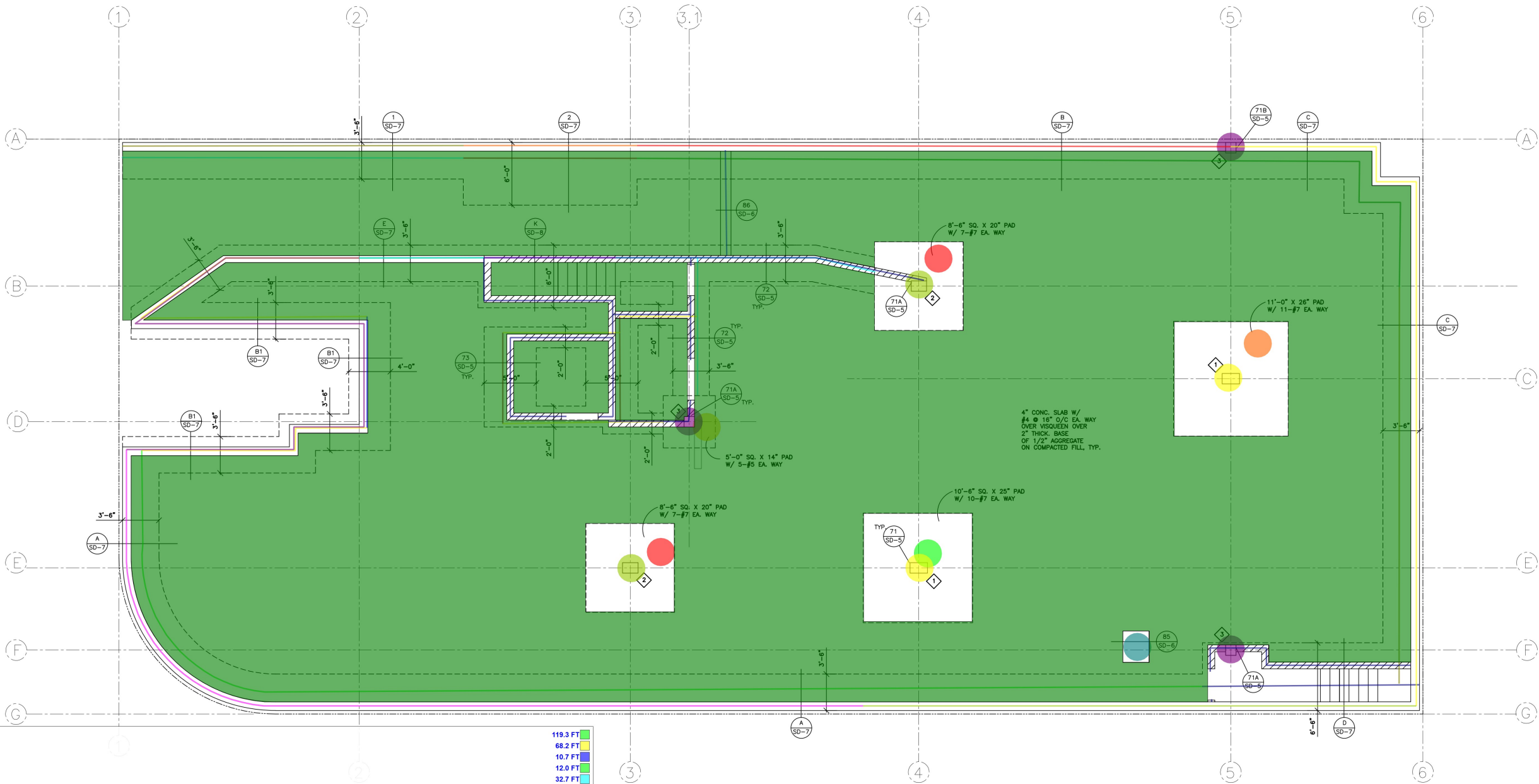
DATE
1-15-2020
10-7-2020
1-25-2022
8-17-2022

APARTMENT BUILDING
1568 ORANGE GROVE AVE.
LOS ANGELES, CA

BERKOZ & ASSOCIATES, INC.
CONSULTING STRUCTURAL ENGINEERS
5530 CORBIN AVENUE, SUITE 229
TARZANA, CA 91356
(818) 668-8589 FAX: (818) 668-8596



JOB #
STRUCTURAL
S-2



- A/SD-7
- (3'6" W) B1/SD-7
- (4' W) B1/SD-7
- (3'6" W) E/SD-7
- (3'6" W) 1/SD-7
- (8' W) 2/SD-7
- (3'6" W) B/SD-7
- (3'6" W) C/SD-7
- (6'6" W) D/SD-7
- 3-(71B/SD-5)
- (2'6"x3'0") Sump Pit-(85/SD-6)
- (10'6" SQ. x25") Pad Footing W/10-#7 EW
- (11' SQ. x26") Pad Footing W/11-#7 EV
- (8'6" SQ. x20") Pad Footing W/7-#7 EV
- (5' SQ. x14") Pad Footing W/5-#5 EV
- 1-(71/SD-5)
- 2-(71/SD-5)
- 86/SD-6
- (6' W) K/SD-8
- (3'6" W) 72/SD-5
- (5' W) 73/SD-5
- (2' W) 73/SD-5
- 4" Concrete Slab W/#4 @16" O.C. EW + Visqueen + 2" Thk Base of 1/2" Aggregate + Compacted Fill
- (9'6" H) Shotcrete Wall-(1/SD-7)
- (9'6" H) Shotcrete Wall-(2/SD-7)
- (9'6" H) Shotcrete Wall-(B/SD-7)
- (9' H) Shotcrete Wall-(B1/SD-7)
- (9' H) Shotcrete Wall-(C/SD-7)
- (9'6" H) Shotcrete Wall-(D/SD-7)
- (9' H) Shotcrete Wall-(A/SD-7)
- (9' H) Shotcrete Wall-(E/SD-7)
- (9'6" H) 8" CMU Wall-(72/SD-5)

- 119.3 FT
- 68.2 FT
- 10.7 FT
- 12.0 FT
- 32.7 FT
- 16.6 FT
- 65.3 FT
- 38.0 FT
- 20.9 FT
- 3.0 EA
- 1.0 EA
- 1.0 EA
- 1.0 EA
- 2.0 EA
- 1.0 EA
- 2.0 EA
- 2.0 EA
- 10.1 FT
- 12.6 FT
- 38.2 FT
- 18.8 FT
- 34.1 FT
- 5586.5 SQ. FT
- 32.7 FT
- 16.6 FT
- 56.9 FT
- 80.3 FT
- 71.4 FT
- 53.0 FT
- 89.0 FT
- 12.0 FT
- 141.4 FT

FOUNDATION PLAN
SCALE: 1/8" = 1'-0"
SEE DET. 71/SD-5

DATE
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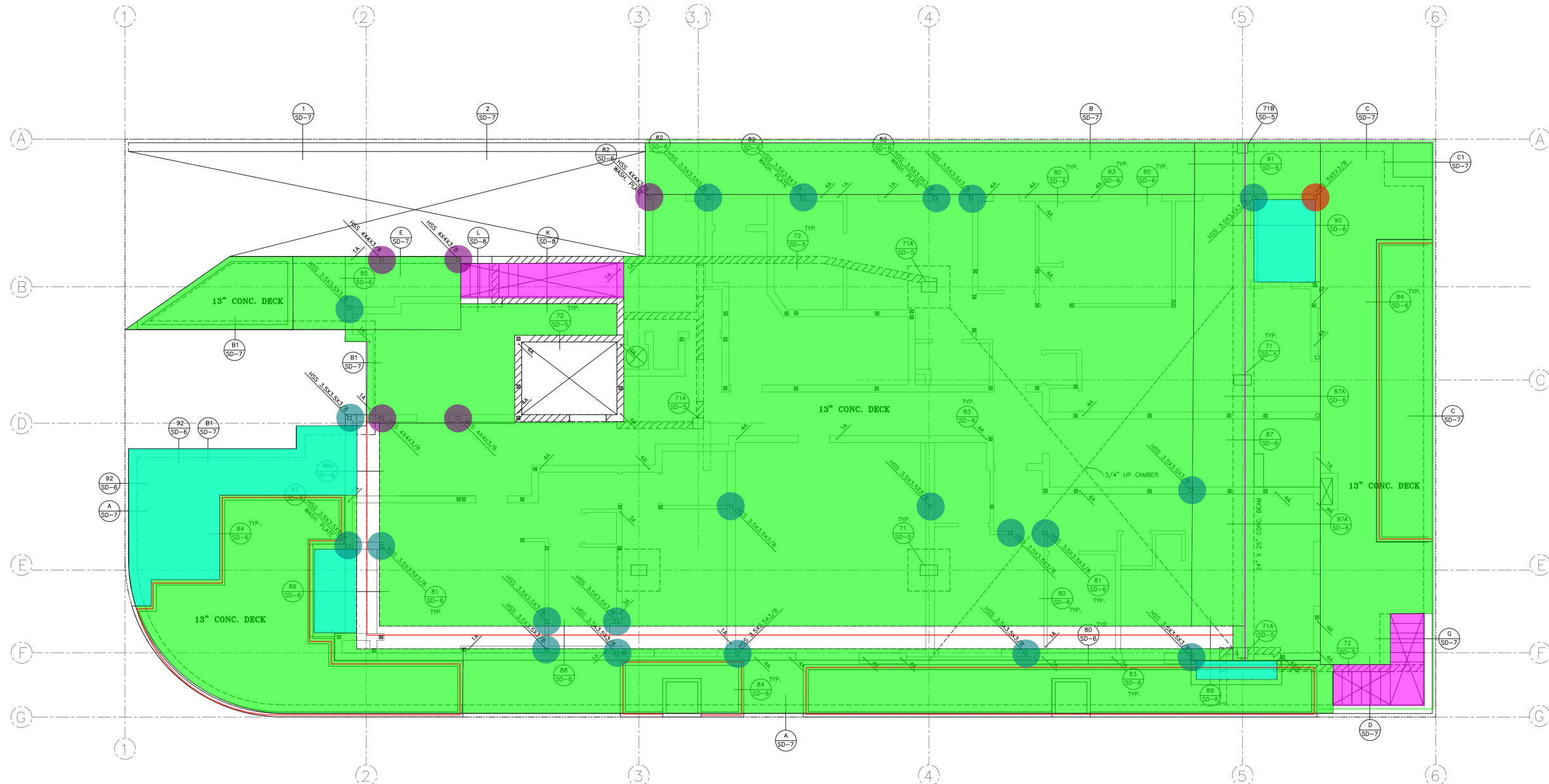
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JOB #
STRUCTURAL

S-3



FIRST FLOOR DECK PLAN

SCALE : 3/16" = 1'-0"

- NOTES:
- (10' H) HSS4x4x3/8-(82/SD-6)
 - (10' H) HSS3.5x3.5x3/8-(82/SD-6)
 - (10' H) HSS5x5x3/8
 - 13" Concrete Deck
 - (6' H) 6" CMU Grout Fill Wall-(B/SD-7)
 - 24"X25" Concrete Beam-(87/SD-6)
 - 4" Concrete Slab + #4 @12" O.C. EW+ Styro Foam
 - 8" Concrete Stair Slab-(J/SD-7)
 - 88A/SD-6
 - (3' H) 6" GFCMU Wall-(84/SD-6)
- HOLD-DOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION
- HOLD-DOWN CONNECTOR BOLT INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS, AND HOLD-DOWNS SHALL BE TIGHTER TIGHT AND WRENCH TURNED JUST PRIOR TO COVERING THE WALL FRAMING.
- CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE STEEL PLATE WASHERS ON THE POST ON THE OPPOSITE SIDE OF THE ANCHORAGE DEVICE. PLATE SIZE SHALL BE A MINIMUM OF 0.259 INCH BY 3 INCHES BY 3/8 IN. IN ACCORDANCE WITH TABLE 2.505.2 OF UBCS.
- SEE PLAN.
- SLAB FORM SHOULD NOT BE REMOVED UNLESS A SPECIFIED COMPRESSIVE STRENGTH IS REACHED FROM THE ENGINEER OF RECORD

5.0 EA
21.0 EA
1.0 EA
5462.8 SQ FT
140.3 FT
49.4 FT
275.3 SQ FT
102.0 SQ FT
103.7 FT
276.7 FT



BID CRAFTERS

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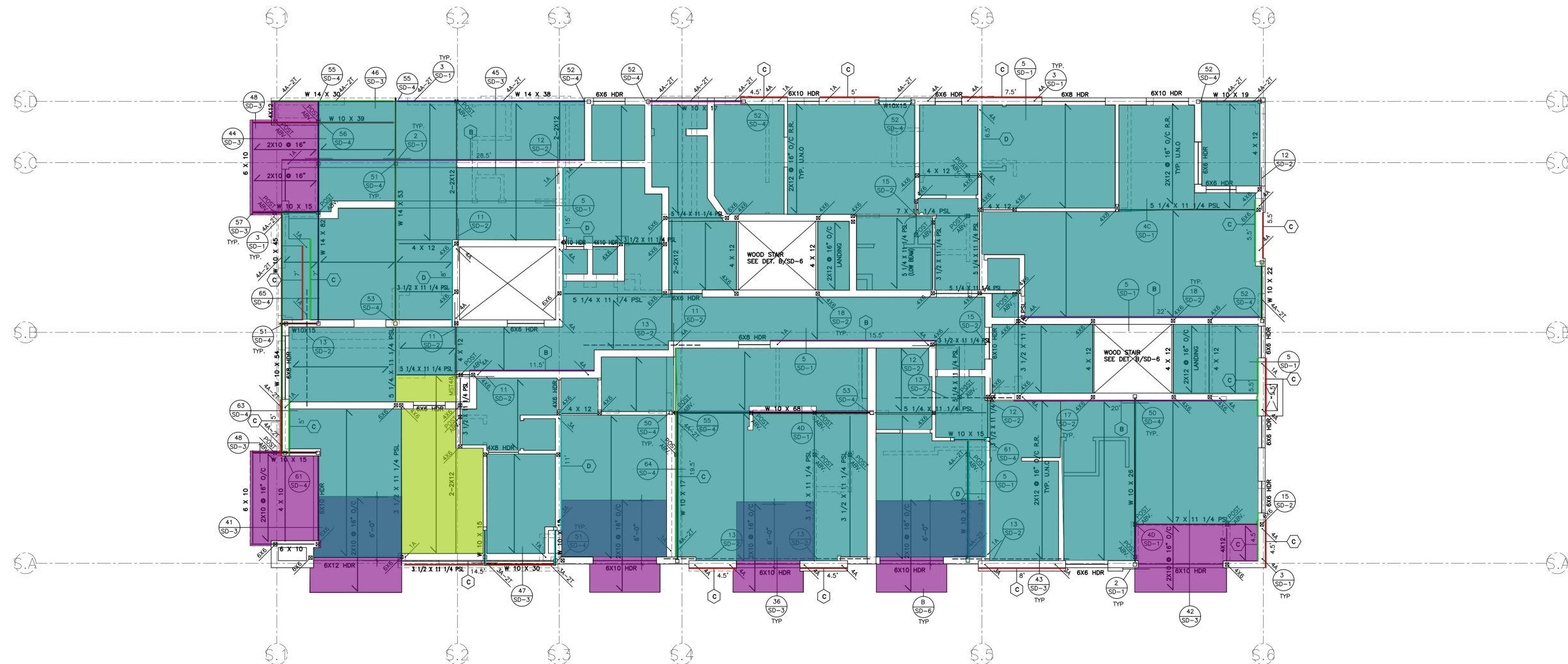
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JOB #
STRUCTURAL

S-4



W10x15
W10x54
W10x45
W14x82
2x10 Joists @16" O.C.
2x12 @16" O.C., Grade #2
2x12 @12" O.C., Grade #2
W10x39
W14x30
W14x53
W14x38
W10x17
W10x15
W10x19
W10x22
W10x30
W10x17
W10x68
W10x26
(10' H) C
(10' H) C
(10' H) B
(10' H) D

SECOND FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

16.1 FT
12.2 FT
10.6 FT
21.1 FT
472.4 SQ FT
3237.1 SQ FT
110.2 SQ FT
13.6 FT
11.8 FT
21.0 FT
18.0 FT
9.1 FT
25.2 FT
5.8 FT
5.8 FT
6.6 FT
14.1 FT
18.5 FT
15.8 FT
76.3 FT
49.1 FT
98.8 FT
51.2 FT

R 1ST FLOOR WALLS)

FLOOR FRAMING NOTES & LEGEND

- INDICATES FLOOR JOIST
2X12 @ 16" O/C, GRADE #2
MAX. SPAN 15'-0"
- 2X12 @ 12" O/C, GRADE #2
MAX. SPAN 17'-0"
- INDICATES SHEAR WALL
SEE SHEAR WALL SCHEDULE
DET. 10/SD-1
- INDICATES SHEAR WALL LENGTH
- INDICATES WOOD POST
4X6 POST MIN. TYP. U.N.O.
- INDICATES TIE-DOWN/HOLDOWN
PER DET. 3/SD-1

FLOOR SHEATHING & NAILING
SEE DET. 20/SD-2

ALL 1ST FLOOR EXTERIOR WALLS ARE 3X6 STUDS
@ 16" O/C WITH EXTERIOR PLYWOOD
(PLYWOOD SHALL BE MIN. TYPE 'A' NAILING PER DET. 10/SD-1)

ALL 1ST FLOOR INTERIOR BEARING WALLS AND SHEAR WALLS
ARE 4X4 STUDS @ 16" O/C U.N.O.

SPURCE OF DOUBLE PLATES PER DET. 1/SD-1.
TYPICAL, UNLESS NOTED OTHERWISE

TYPICAL DETAILS SEE SHEET SD-1 & SD-2



BID CRAFTERS

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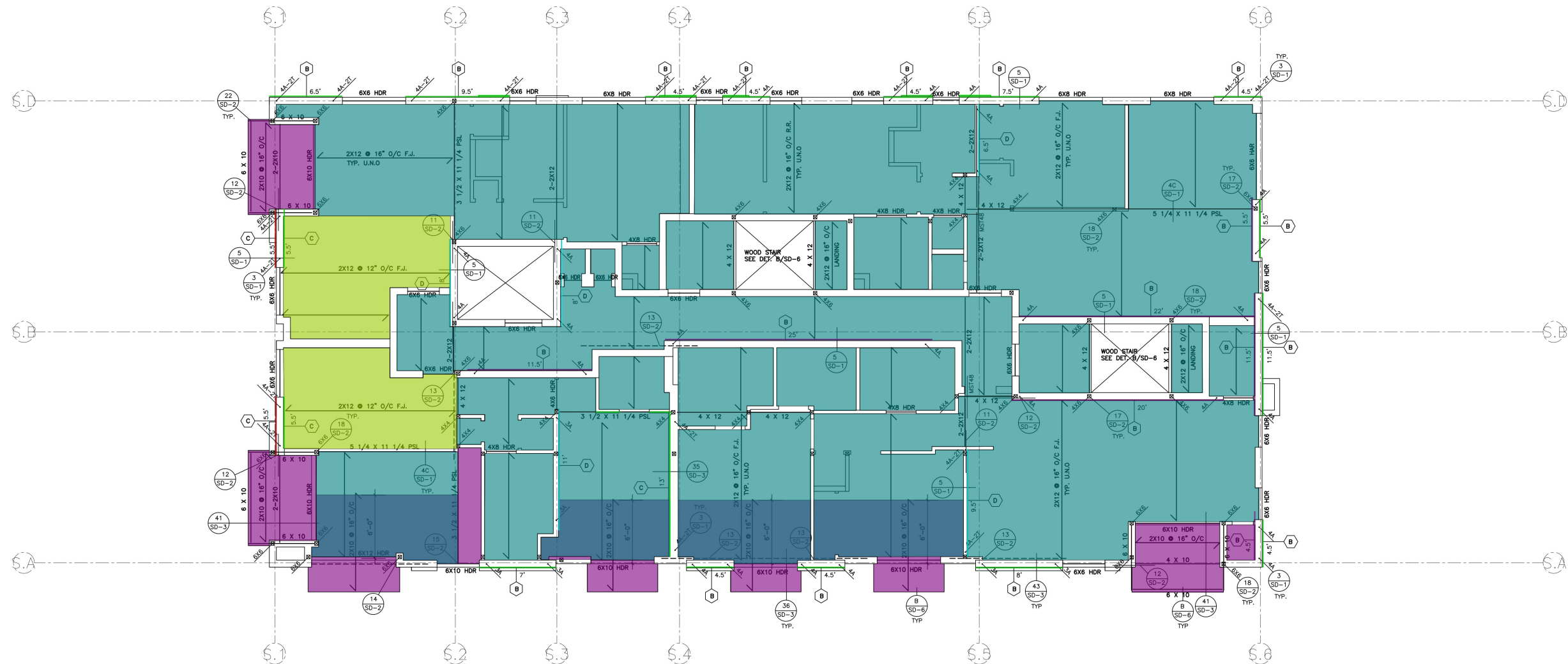
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JOB #
STRUCTURAL

S-5



(10' H) B	104.7 FT
(10' H) C	11.2 FT
(10' H) C	28.5 FT
(10' H) D	45.0 FT
(10' H) B	101.9 FT
2x10 Joists @16" O.C	574.6 SQ FT
2x12 @12" O.C., Grade #2	293.5 SQ FT
2x12 @16" O.C., Grade #2	3109.3 SQ FT

THIRD FLOOR FRAMING PLAN

SCALE: 3/16" = 1'-0"

(OVER 2ND FLOOR WALLS)

FLOOR FRAMING NOTES & LEGEND

- INDICATES FLOOR JOIST
2X12 @ 16" O/C, GRADE #2
MAX. SPAN 15'-0"
- 2X12 @ 12" O/C, GRADE #2
MAX. SPAN 17'-0"
- INDICATES SHEAR WALL
SEE SHEAR WALL SCHEDULE
DET. 10/SD-1
- INDICATES SHEAR WALL LENGTH
- INDICATES WOOD POST
4X6 POST MIN. TYP. U.N.O.
- INDICATES TIE-DOWN/HOLDOWN
PER DET. 3/SD-1

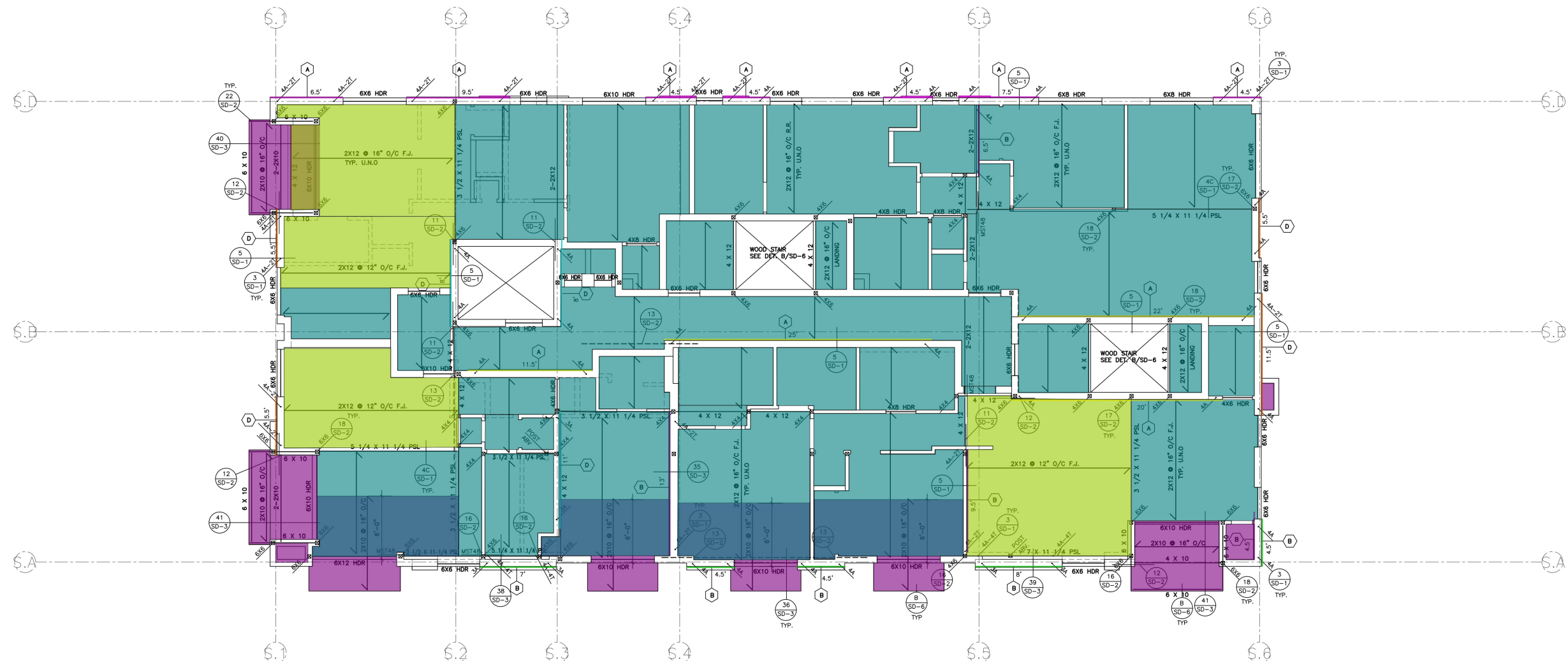
FLOOR SHEATHING & NAILING
SEE DET. 20/SD-2

ALL 2ND FLOOR EXTERIOR WALLS ARE 3X6 STUDS
@ 16" O/C WITH EXTERIOR PLYWOOD
(PLYWOOD SHALL BE MIN. TYPE 'A' NAILING PER DET. 10/SD-1)

ALL 2ND FLOOR INTERIOR BEARING WALLS AND SHEAR WALLS
ARE 3X4 STUDS @ 16" O/C U.N.O.

SPLICE OF DOUBLE PLATES PER DET. 1/SD-1.
TYPICAL, UNLESS NOTED OTHERWISE










TYPICAL DETAILS SEE SHEET SD-1 & SD-2



FOURTH FLOOR FRAMING PLAN

SCALE : 3/16" = 1'-0"

(OVER 3RD FLOOR WALLS)

 (10' H) A	58.5 FT
 (10' H) B	29.3 FT
 (10' H) D	28.5 FT
 (10' H) D	27.9 FT
 (10' H) A	79.8 FT
 (10' H) B	34.8 FT
 2x10 Joists @16" O.C	551.9 SQ FT
 2x12 @16" O.C., Grade #2	2760.7 SQ FT
 2x12 @12" O.C., Grade #2	641.7 SQ FT

FLOOR FRAMING NOTES & LEGEND

INDICATES FLOOR JOIST
2X12 @ 16" O/C, GRADE #2
MAX. SPAN 15'-0"

2X12 @ 12" O/C, GRADE #2
MAX. SPAN 17'-0"

INDICATES SHEAR WALL
SEE SHEAR WALL SCHEDULE
DET. 10/SD-1

INDICATES SHEAR WALL LENGTH

INDICATES WOOD POST
4X4 POST MIN. TYP. U.N.O.

INDICATES TIE-DOWN/HOLDOWN
PER DET. 3/SD-1

FLOOR SHEATHING & NAILING
SEE DET. 20/SD-2

ALL 3RD FLOOR EXTERIOR WALLS ARE 2X6 STUDS
@ 16" O/C WITH EXTERIOR PLYWOOD
(PLYWOOD SHALL BE MIN. TYPE "X" NAILING PER DET 10/SD-1)

ALL 3RD FLOOR INTERIOR BEARING WALLS AND SHEAR WALLS
ARE 2X4 STUDS @ 16" O/C U.N.O.

SPLICE OF DOUBLE PLATES, PER DET. 1/SD-1.
TYPICAL, UNLESS NOTED OTHERWISE

TYPICAL DETAILS SEE SHEET SD-1 & SD-2



BID CRAFTERS

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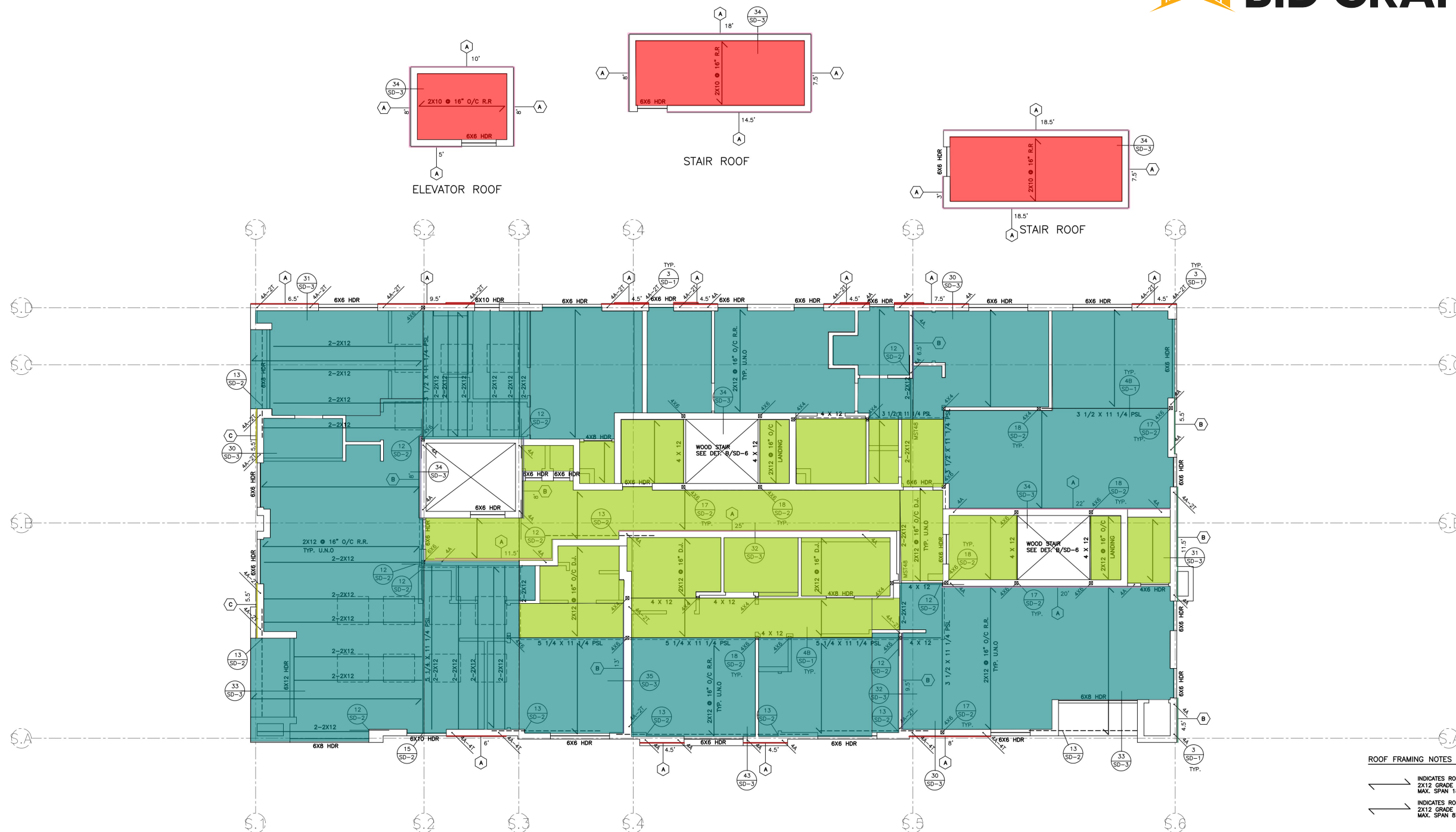
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JOB #
STRUCTURAL

S-7



(3' H) A	82.0 FT
(3' H) B	22.0 FT
(3' H) C	11.2 FT
(3' H) B	46.6 FT
(3' H) A	211.0 FT
2x10 Joists @16" O.C R.R	289.2 SQ FT
2x12 @16" O.C., Grade #2 RR	2666.2 SQ FT
2x12 @16" O.C., Grade #2 RJ	879.7 SQ FT

ROOF FRAMING NOTES & LEGEND

INDICATES ROOF RAFTER
2X12 GRADE #2 @ 16" O/C, TYP. U.N.O.
MAX. SPAN 18'-0"

INDICATES ROOF DECK JOIST
2X12 GRADE #2 @ 16" O/C, TYP. U.N.O.
MAX. SPAN 8'-0"

INDICATES SHEAR WALL
SEE SHEAR WALL SCHEDULE
DET. 10/SD-1

INDICATES SHEAR WALL LENGTH

INDICATES WOOD POST
4X4 POST MIN. TYP. U.N.O.

INDICATES TIE-DOWN/HOLDOWN
PER DET. 3/SD-1

ROOF DECK SHEATHING & NAILING (BLOCKED DIAPHRAGM)
SEE DET. 15/SD-1

ROOF SHEATHING & NAILING (UNBLOCKED DIAPHRAGM)
SEE DET. 15/SD-1

ALL 4TH FLOOR EXTERIOR WALLS ARE 2X8 STUDS
@ 16" O/C WITH EXTERIOR PLYWOOD
(PLYWOOD SHALL BE MIN. TYPE 'A' NAILING PER DET. 10/SD-1)

ALL 4TH FLOOR INTERIOR BEARING WALLS AND SHEAR WALLS
ARE 2X4 STUDS @ 16" O/C U.N.O.

SPICE OF DOUBLE PLATES PER DET. 1/SD-1.
TYPICAL, UNLESS NOTED OTHERWISE

TYPICAL DETAILS SEE SHEET SD-1 & SD-2

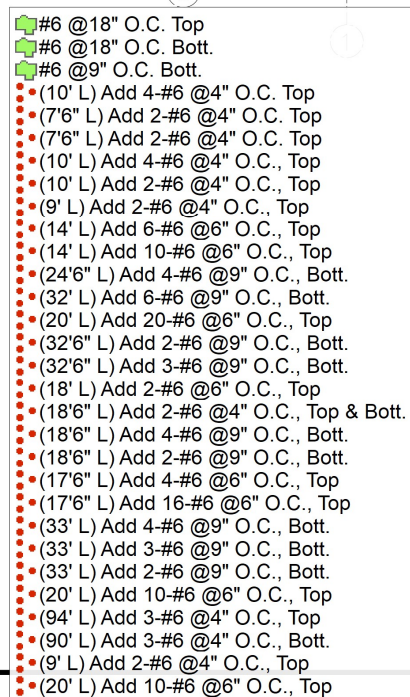


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S-3.1



	6082.7	SQ FT	
	4506.6	SQ FT	
	1428.4	SQ FT	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	3.0	EA	
	1.0	EA	
	2.0	EA	
	2.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	
	1.0	EA	

PLAN

(OUTER LAYER REINFORCEMENT)



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1568 ORANGE GROVE AVE
LOS ANGELES, CA

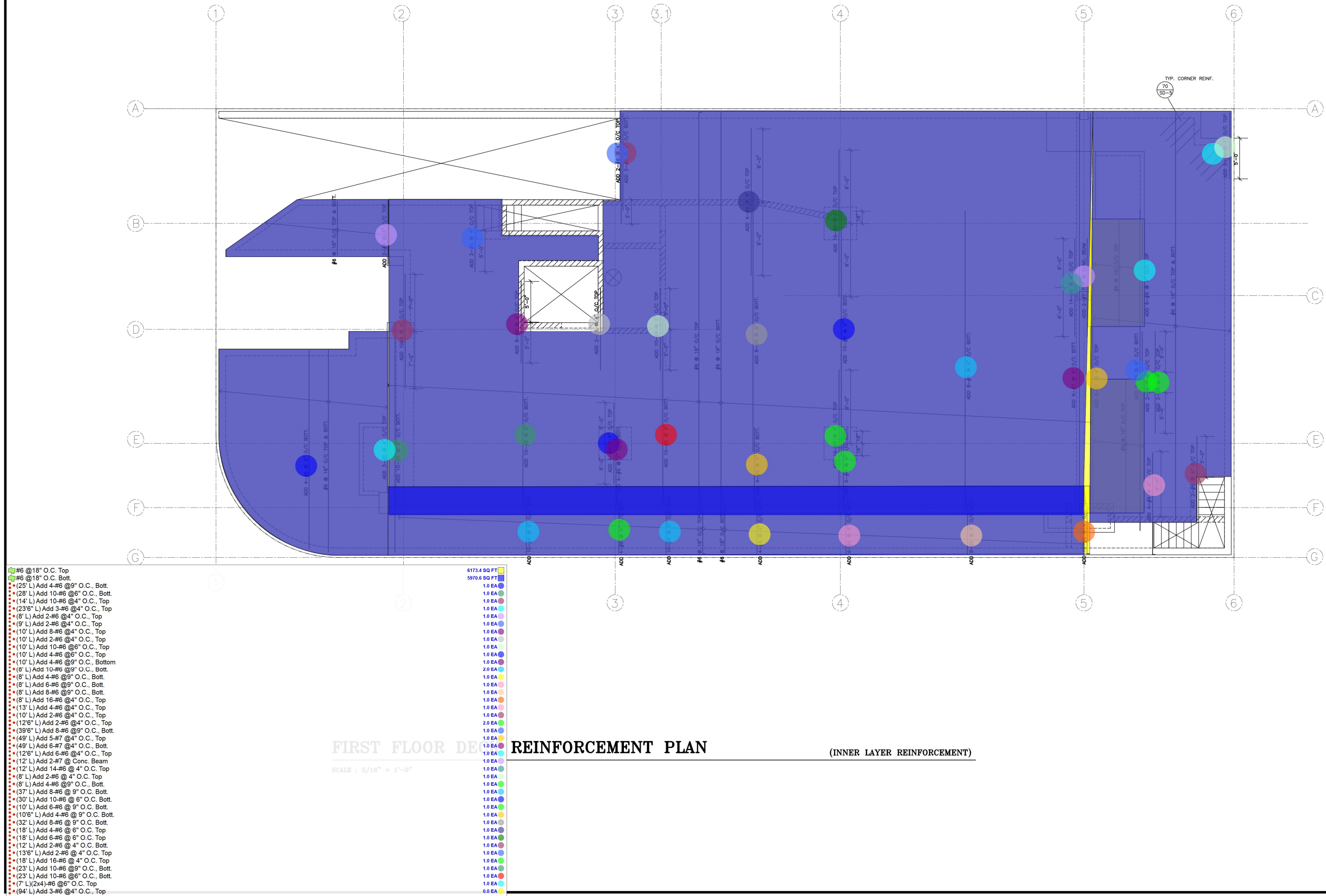
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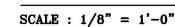
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S-3.2





325.5 FT 
43.0 EA 

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